

Affordable Housing Case Study

...on the Ground in Clatsop County





CLATSOP COUNTY HOUSING STRATEGIES REPORT

JANUARY, 2019



Emmons and Walsh - Kah San Chako Haws, Crane Building, Guardian Management



other selected Walsh

Goals:

1. Build Walsh CEDC Project
 - a. Cost Efficient Design & Construction of Affordable Housing
2. In Clatsop County
3. Affordable Workforce Housing - Jobs in Clatsop County
4. 40 - 60 dwelling units (1.25 - 2 acres)
5. Family Housing
 - a. w/ amenities: playground, community garden, services
 - b. near jobs, services, transit
6. Use State Funding to reduce rents to 30% of Family Income
 - a. LIFT (Local Innovation and Fast Track Housing Program)
 - b. 9% (9% Low Income Housing Tax Credits)
 1. Competitive
 2. Rural set asides
 3. Complexity of Applications / Resources for Pre Development

	Hourly	Annual	Monthly	30%
Walmart starting wage (est)	\$11	\$22,880	\$1,907	\$572
Pacific Seafood starting wage	\$13	\$27,040	\$2,253	\$676
	\$15	\$31,200	\$2,600	\$780
	\$13	\$27,040	\$2,253	\$676
Hampton Mills starting wage	\$19	\$39,520	\$3,293	\$988

Warrenton OR Rental Listings

3 results

Sort by: Newest

1 day ago



\$1,160/mo 2 bds | 1 ba | 700 sqft
1523 SE Honeysuckle Loop # A, Warrenton, OR 97146
Apartment for rent

1 photo




\$1,095/mo 2 bds | 1 ba | 974 sqft
1980 SE Chokeberry Ave UNIT D, Warrenton, OR 97146
Apartment for rent

Ad



Switch to CenturyLink®
Moving gives you a fresh start. Take advantage & get Internet w/ no contract.
[Learn More](#)

27 days ago



\$1,350/mo 2 bds | 1 ba | 1,100 sqft
1520 SE Willow Dr, Warrenton, OR 97146
Apartment for rent

End of matching results

Try [zooming out](#) to include more results. Or, change your search criteria.


Similar results nearby

Results within 2 miles



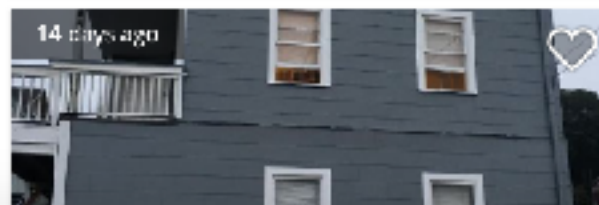
\$900+ 1 bd | \$1,000+ 2 bds | \$1,200+ 3 bds
Columbia Pointe Apartments | 500 Pacific Dr, Ha...
Columbia Pointe Apartments

1 day ago



\$1,700/mo 3 bds | 1 ba | 1,400 sqft
674 11th St, Astoria, OR 97103
House for rent

14 days ago



7 photos



Oregon Housing and Community Services

Department

Homeownership

Search

Contact Us

Housing Stability Council

About Us

Job Openings

News & Public Notices

Programs

Agriculture Workforce Housing Information

Compliance, Monitoring & Streamlining

Energy / Weatherization

Foreclosure Prevention

Homeownership

Housing Assistance

Housing Development

Manufactured Home Parks

Procurement and Contracts

HUD 811 PRA

Housing Choice Vouchers

Section 8

Funding Opportunities: Affordable Rental Housing Development

Housing Development / Affordable Rental Housing Development Funding

Affordable rental housing development resources include grants, loans, and tax credits for affordable, multi-unit, rental housing development.

Notice of Funding Availability (NOFA) applications provide limited grant and tax credit funds in an annual and competitive allocation process.

Housing Development funds are available on a first come, first served basis through a variety of loan programs and agriculture workforce housing tax credits.

Join Our E-News List

Stay informed on funding opportunities.

Sign up for Affordable Rental Housing Development Technical Advisories.

How It Works:

Before Applying:

1. Applicants must complete a Project Site Review Checklist

2. Review the Done-Development Manual (DDM), formerly PDM

OPEN NOFAs:

Local Innovation and Fast Track (LIFT) Rental

0% Low Income Housing Tax Credits

HOME Investment Partnership Program

Preservation with 4% LIHTC

Agriculture Workforce Housing Tax Credits

FUNDING AVAILABLE YEAR-ROUND:

4% Low Income Housing Tax Credits

Rental Financing / Loan Programs

Oregon Multifamily Loan Program

Oregon Rural Rehabilitation

CLOSED NOFAs:

(FOR REFERENCE ONLY)

Small Scale Projects and Large Scale Projects with Additional Veterans Subsidy NOFA #2019-4

Portfolio Preservation

Manufactured Dwelling Park Preservation

Related Links

Appraisals and Market Analysis:

General Market Analysis Workbook

Special Needs Market Analysis Workbook

State funding applications need expertise

Excel File Edit View Insert Format Tools Data Window Help

Copy of OHCS-2020-N0FA-Application-Example-Template-D3-NST-COMplete

Home Insert Draw Page Layout Formulas Data Review View

122

Site	Building	Building Address	City	3-Party (for NCT entry -)	Ten Locs (b)	Type of Site Control	Type of Construction	QCT/ODA, or 2020/21	Less FID Date	Date Initially Constructed	Refer(s) Name	Refer(s) Address
	1											
	2											
	3											
	4											
	5											
	6											
	7											
	8											
	9											
	10											
TOTAL	10											

Site Details	New/Construction	Rehabilitation	TOTAL
# of Sites Under Construction	0	0	0
# of Sites Proposed to Acquire	0	0	0
# of Sites Type: Single-Family	0	0	0
# of Sites in a QCT or ODA	0	0	0
# of Sites in a NCT or NFA	0	0	0

Building Type	1-2 Floor	3-4 Floor	5-6 Floor	7-8 Floor	9-10 Floor	11-12 Floor	13-14 Floor
Single Story	0	0	0	0	0	0	0
Double Story	0	0	0	0	0	0	0
Elevator	0	0	0	0	0	0	0
Non-Elevator Multi-Story	0	0	0	0	0	0	0
Non-Elevator / Townhouse	0	0	0	0	0	0	0
Condominium	0	0	0	0	0	0	0

Not Rent Restricted Units: 0%

Site A	Site B	Site C	Site D	Site E	Site F

Number Parking Spaces: 0

Will the site be subdivided? 0

Area of Site (Acres): 0

Does this project involve the placement or temporary relocation of any commercial or residential tenants, or will any occupied portion of the project be made vacant? 0

Unit Type	Unit Count	Efficiency/Studio	1 Bedroom	2 Bedroom	3 Bedroom	4+ Bedroom
30% AM	0	0	0	0	0	0
40% AM	0	0	0	0	0	0
50% AM	0	0	0	0	0	0
60% AM	0	0	0	0	0	0
70% AM	0	0	0	0	0	0
TOTAL	0	0	0	0	0	0

Detached Non-Residential Details	# Structures	Total sqft	Description, including Purpose and Building Age
Manufacturing Facilities			Subtotal
Commercial Facilities			Subtotal
Other			Subtotal

If different from the applicant, describe the current property owner(s), include the date they purchased the property and, if the owner(s) is 11/17 or 11/18, the current all principles.

Development Schedule

Development Task	Required Date (Month/Year)	Required Date (Month/Year)	Completed Date (Month/Year)
1. Option/Contract awarded			
2. Site Acquisition			
3. Permit Approval			
4. Building Permit & Fees			
5. Civil/Structural Improvements			
6. Plans Completed			
Bond Sale/Construction Loan			
7. Proposal			
8. Form Commitment			
9. Leasing/Marketing or other			
Permanent Loan			
10. Proposal			
11. Form Commitment			
12. Working/Building phases			
Development			
13. Specifications/Blueprint Agreement			
14. Construction Begins			
15. Construction Completed			
16. Certificate of Occupancy			
Marketing			
17. Leasing Begins			
18. Leasing Completed			
19. Allocation Units per month			

Instructions | Proposal Summary | Narratives | Project Details | Development Team | Budget Sources | Budget Uses | Rents and Incomes | Operating Budget | Commercial Operating Budget | LHFC Calc (Site Entry) | LHFC Calc (Summary) | Multifamily Bonds | OHFC Calc

State funding applications need expertise



Land:

Size

Availability

Neighborhood, Accessibility

Environmental, Elevation, Dry Land

Private Ownership

Brokers

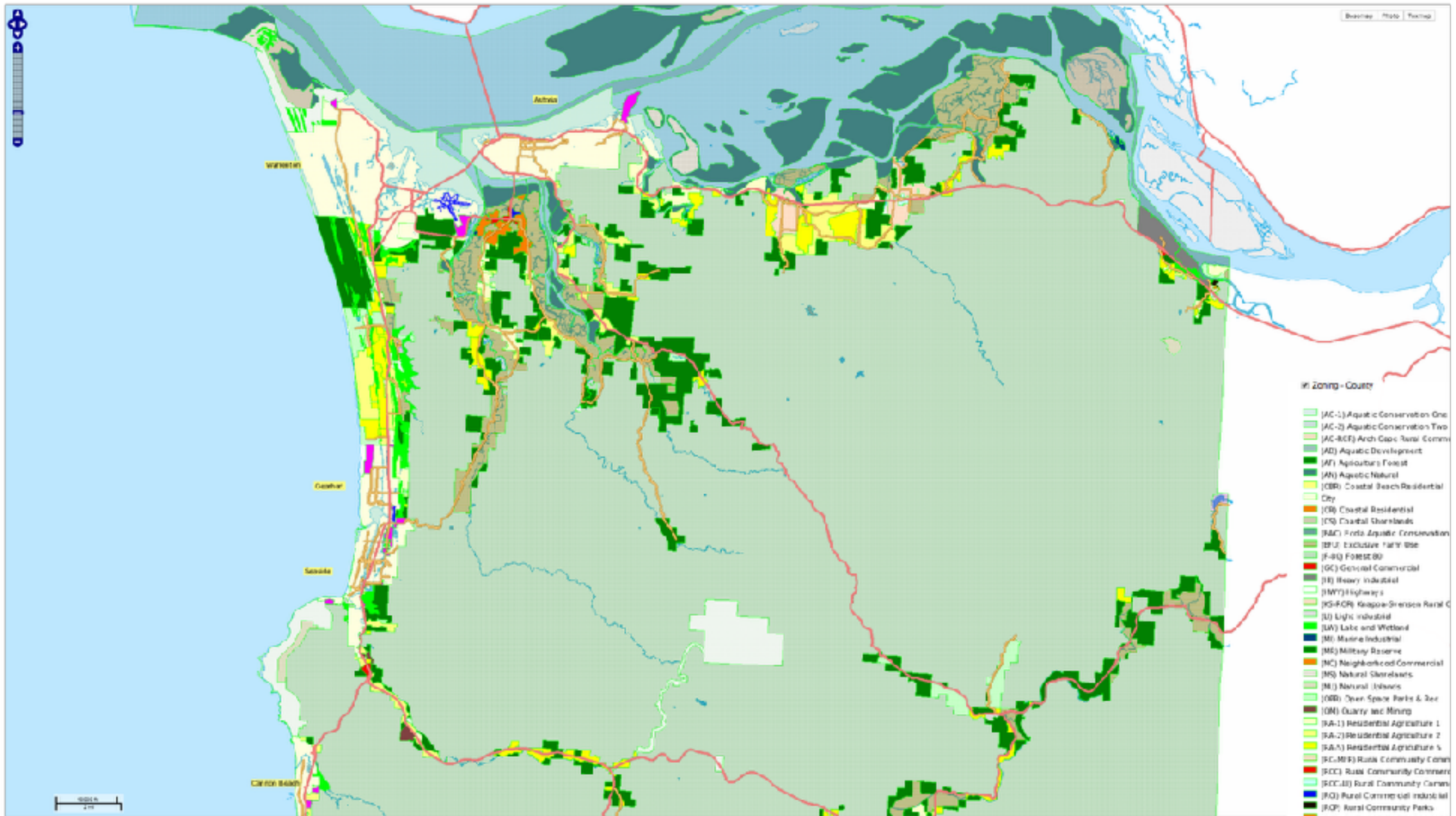
Timing (extended due to use of State funding)

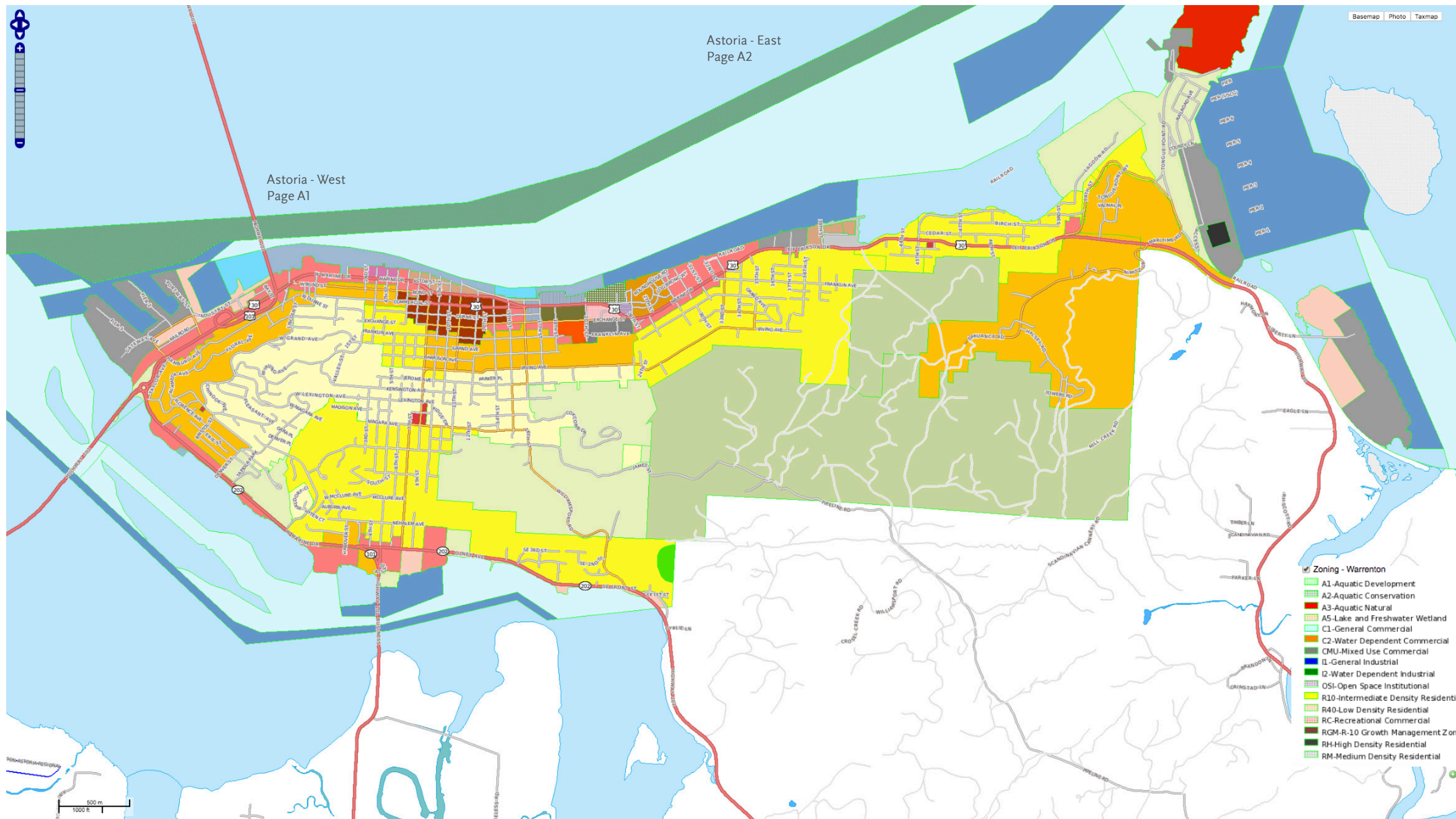
Public Ownership

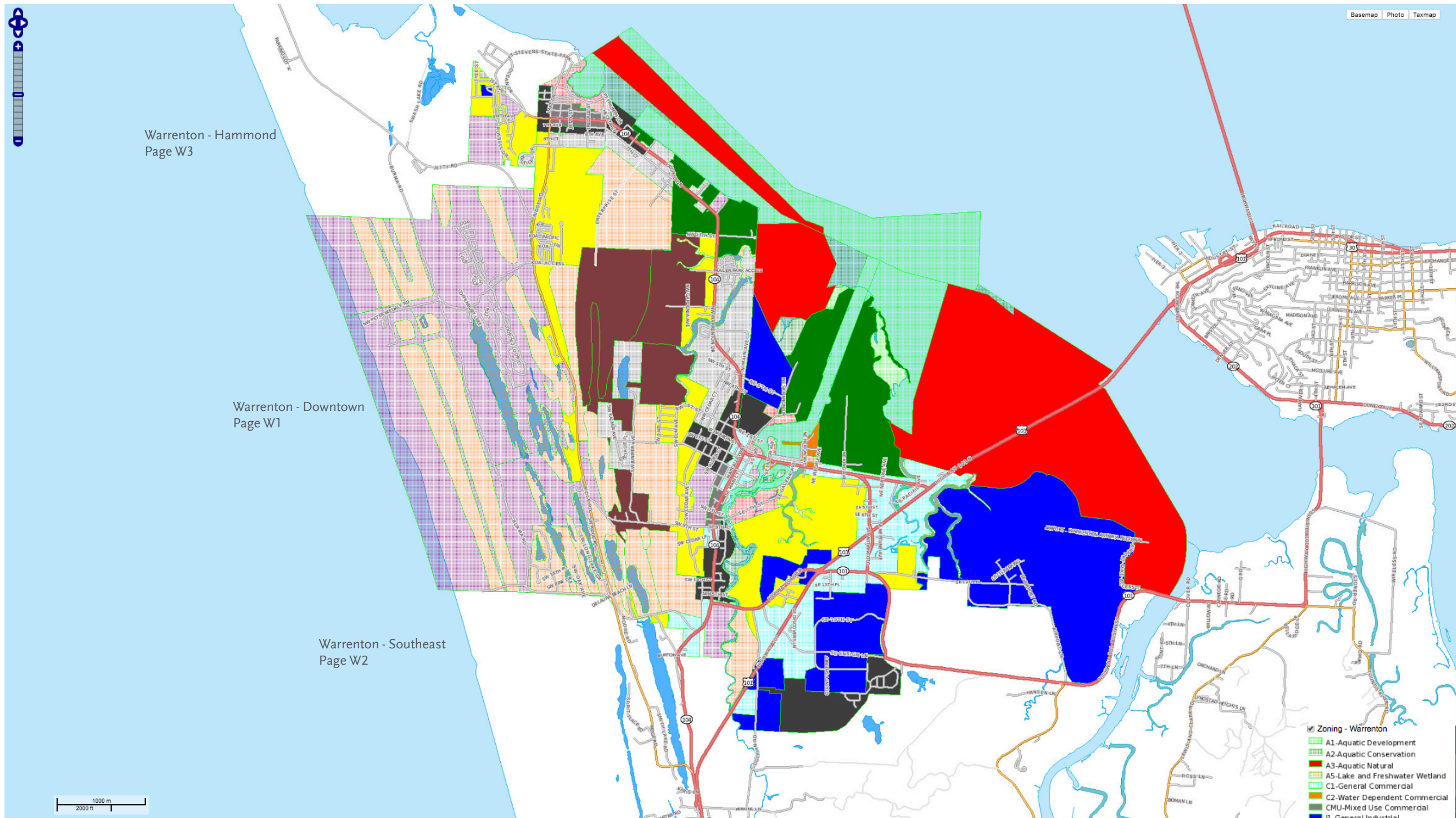
State

County

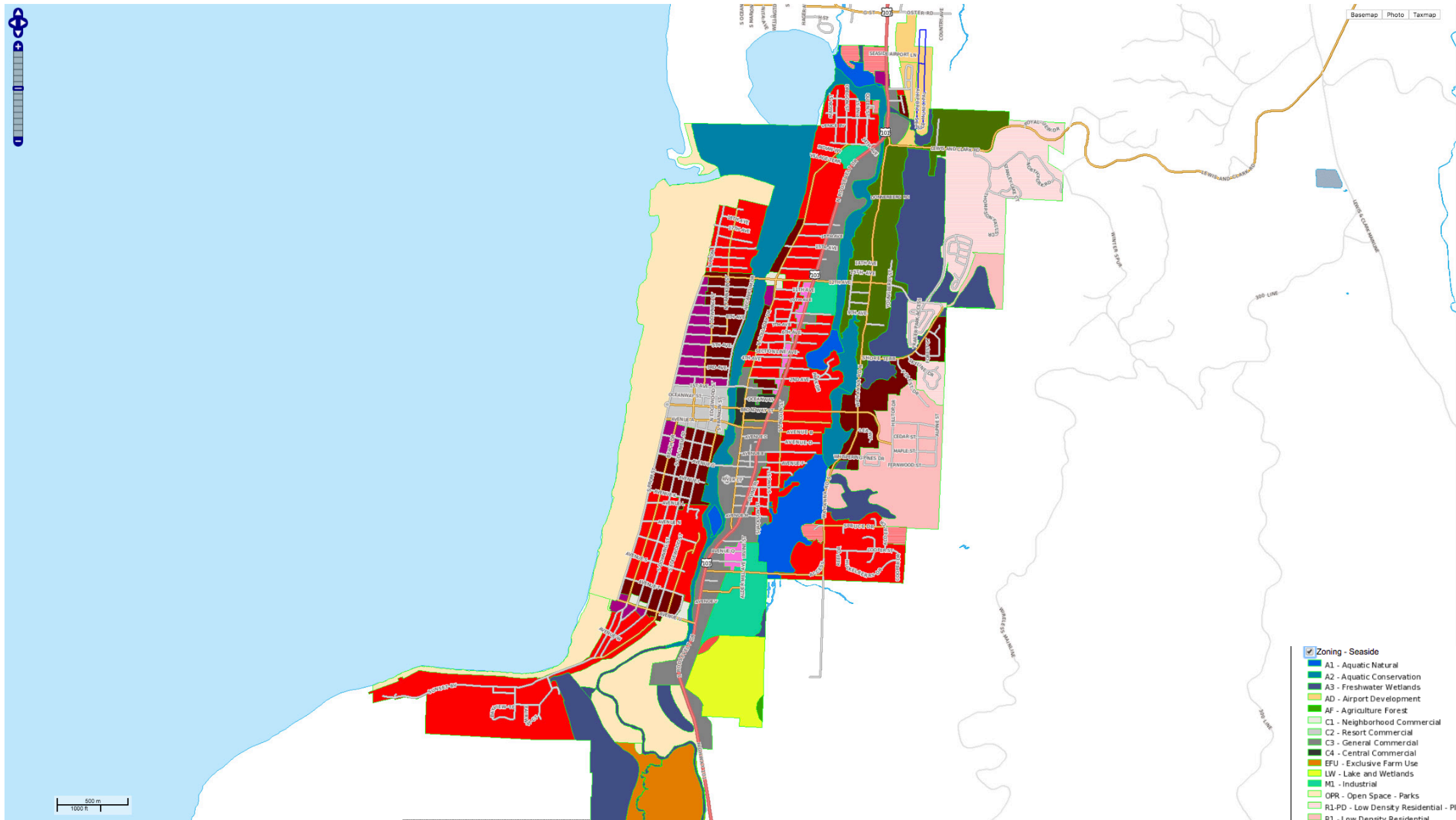
City







Warrenton	RM	RH	C1	C-MU	RC
	Med. Density Residential	High Density Residential	General Commercial	Commercial Mixed-Use	Recreational Commercial
Permitted Uses	No Multi-family	Multi-family		Multi-family	
Conditional Uses			Multi-family		Multi-family
Density		1600 SF/Unit			
Lot Coverage		55%		55%	75%
Max. Height (feet)		40	45	40	40
Open Space					



Seaside	R2	R3	RR	RC	C3
Permitted Uses	Med. Density Residential	High Density Residential	Resort Residential	Residential Commercial	General Commercial
Conditional Uses	No Multi Family	Multi Family	Multi Family	No Multi Family	Multi Family
Density		20 DU/acre max.	30 DU/acre max.		No limit
Lot Coverage		55%			No limit
Max. Height		45'	45'		45'
Setbacks (Front, Side, Rear)		Front: 15', Side: 5-10', Rear: 15'	Front: 15', Side: 5-10', Rear: 15'		Front: None, Side: None-5', Rear: None-15'

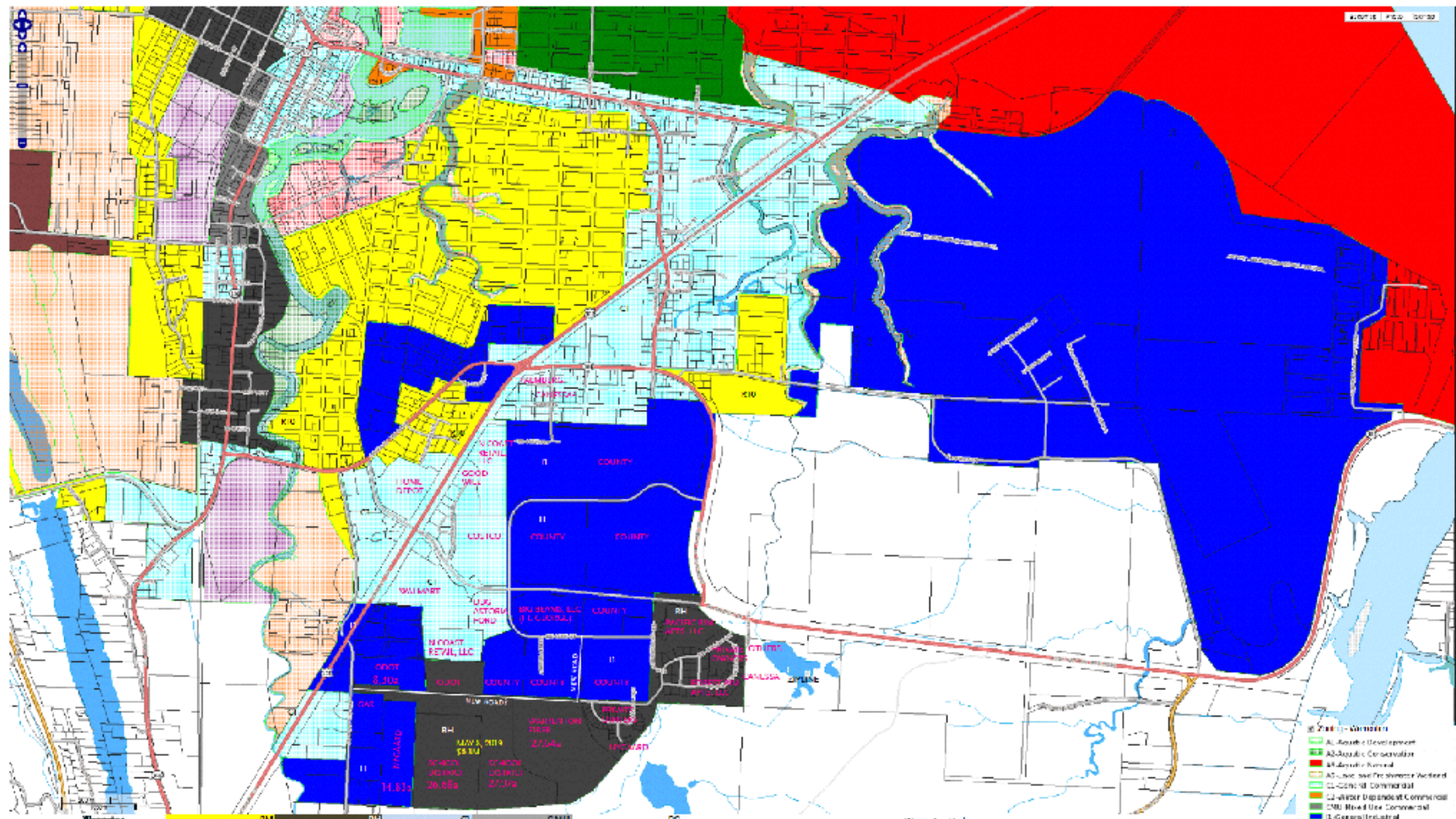
- ☒ Zoning - Seaside
- A1 - Aquatic Natural
 - A2 - Aquatic Conservation
 - A3 - Freshwater Wetlands
 - AD - Airport Development
 - AF - Agriculture Forest
 - C1 - Neighborhood Commercial
 - C2 - Resort Commercial
 - C3 - General Commercial
 - C4 - Central Commercial
 - EFU - Exclusive Farm Use
 - LW - Lake and Wetlands
 - M1 - Industrial
 - OPR - Open Space - Parks
 - R1-PD - Low Density Residential - P
 - R1 - Low Density Residential
 - R2-PD - Medium Density Residential
 - R2 - Medium Density Residential
 - R3-PD - High Density Residential - P
 - R3 - High Density Residential
 - RA-2 - Residential Agriculture
 - RC - Residential - Commercial
 - RR - Resort Residential
 - SR - Residential - Suburban

Astoria	R2	R3	C3	S2A
<i>Note: overlay zones</i>	Med. Density Residential	High Density Residential	General Commercial	Tourist Oriented Shoreland
Permitted Uses		Multi Family	Multi Family	
Conditional Uses	Multi Family			Multi Family

Density				
Lot Coverage	40%	50%	90%	
Max. Height	28'	35'	45'	28'
Setbacks (Front, Side, Rear)		Front 20', Side 5', Rear 15'		
Other Reference				Columbia Riv Est-Article 4

Warrenton	RM	RH	C1	C-MU	RC
	Med. Density Residential	High Density Residential	General Commercial	Commercial Mixed-Use	Recreational Commercial
Permitted Uses	No Multi-Family	Multi-family		Multi-family	
Conditional Uses			Multi-family		Multi-family
Density		1600 SF/Unit			
Lot Coverage		55%		55%	75%
Max. Height (feet)		40	45	40	40
Open Space (Includes setbacks)	20%	20%	20%	20%	20%

Seaside	R2	R3	RR	RC	C3
	Med. Density Residential	High Density Residential	Resort Residential	Residential Commercial	General Commercial
Permitted Uses	No Multi Family	Multi Family	Multi Family	No Multi Family	
Conditional Uses					Multi Family
Density		20 DU/acre max.	30 DU/acre max.		No limit
Lot Coverage		55%			No limit
Max. Height		45'	45'		45'
Setbacks (Front, Side, Rear)		Front: 15', Side: 5-10', Rear: 15'	Front: 15', Side: 5-10', Rear: 15'		Front: None, Side: None- 5', Rear: None-15'



	RM	RH	C	CM	RC
Warrenton	Medium Density Residential	High Density Residential	General Commercial	Commercial Mixed-Use	Recreational Commercial
Permitted Uses	Single-Family Detached	Multi-Family	Multi-Family	Multi-Family	Multi-Family
Conditional Uses					
Density		1600 SF/Unit			
Lot Coverage		55%		55%	75%
Max. Height (feet)		40	45	40	40
Open Space (includes setbacks)	20%	20%	20%	20%	20%

ARCHITECTURAL AND PLANNING, WWW.LMMONSDESIGN.COM

ASTORIA, WARRENTON, GEMSBART, SEASIDE, CATHLAMET BEACH, LAKE CAPE, MANASTASH

NOVEMBER 7, 2010

Clatsop County Zoning Maps, V3

Warrenton Parking
10-118-010 Vehicle Parking Standards
Parking for Multi-Family ...

Single detached 1 bedroom units less than 600 SF	1
1 bedroom units 600 sq ft or larger	1.5
2 bedroom units	1.75
3 bedroom or greater units	2

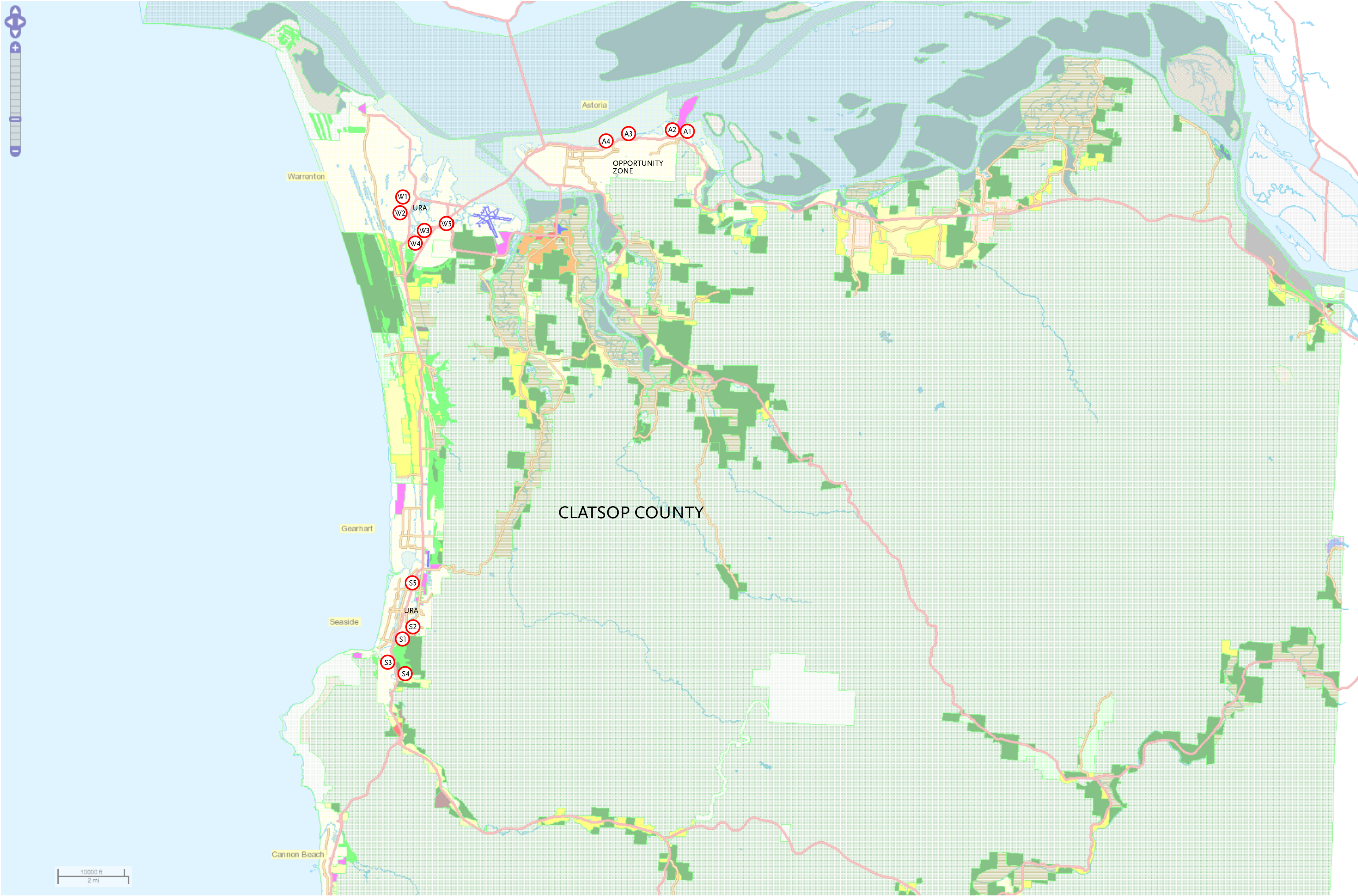
- Warrenton - Warren**
- A1-Agricultural Development
 - A2-Agricultural Conservation
 - A3-Agricultural Forest
 - A4-Agricultural Forest
 - A5-Agricultural Forest
 - C1-Community Commercial
 - C2-Community Commercial
 - C3-Community Commercial
 - C4-Community Commercial
 - C5-Community Commercial
 - C6-Community Commercial
 - C7-Community Commercial
 - C8-Community Commercial
 - C9-Community Commercial
 - C10-Community Commercial
 - C11-Community Commercial
 - C12-Community Commercial
 - C13-Community Commercial
 - C14-Community Commercial
 - C15-Community Commercial
 - C16-Community Commercial
 - C17-Community Commercial
 - C18-Community Commercial
 - C19-Community Commercial
 - C20-Community Commercial
 - C21-Community Commercial
 - C22-Community Commercial
 - C23-Community Commercial
 - C24-Community Commercial
 - C25-Community Commercial
 - C26-Community Commercial
 - C27-Community Commercial
 - C28-Community Commercial
 - C29-Community Commercial
 - C30-Community Commercial
 - C31-Community Commercial
 - C32-Community Commercial
 - C33-Community Commercial
 - C34-Community Commercial
 - C35-Community Commercial
 - C36-Community Commercial
 - C37-Community Commercial
 - C38-Community Commercial
 - C39-Community Commercial
 - C40-Community Commercial
 - C41-Community Commercial
 - C42-Community Commercial
 - C43-Community Commercial
 - C44-Community Commercial
 - C45-Community Commercial
 - C46-Community Commercial
 - C47-Community Commercial
 - C48-Community Commercial
 - C49-Community Commercial
 - C50-Community Commercial
 - C51-Community Commercial
 - C52-Community Commercial
 - C53-Community Commercial
 - C54-Community Commercial
 - C55-Community Commercial
 - C56-Community Commercial
 - C57-Community Commercial
 - C58-Community Commercial
 - C59-Community Commercial
 - C60-Community Commercial
 - C61-Community Commercial
 - C62-Community Commercial
 - C63-Community Commercial
 - C64-Community Commercial
 - C65-Community Commercial
 - C66-Community Commercial
 - C67-Community Commercial
 - C68-Community Commercial
 - C69-Community Commercial
 - C70-Community Commercial
 - C71-Community Commercial
 - C72-Community Commercial
 - C73-Community Commercial
 - C74-Community Commercial
 - C75-Community Commercial
 - C76-Community Commercial
 - C77-Community Commercial
 - C78-Community Commercial
 - C79-Community Commercial
 - C80-Community Commercial
 - C81-Community Commercial
 - C82-Community Commercial
 - C83-Community Commercial
 - C84-Community Commercial
 - C85-Community Commercial
 - C86-Community Commercial
 - C87-Community Commercial
 - C88-Community Commercial
 - C89-Community Commercial
 - C90-Community Commercial
 - C91-Community Commercial
 - C92-Community Commercial
 - C93-Community Commercial
 - C94-Community Commercial
 - C95-Community Commercial
 - C96-Community Commercial
 - C97-Community Commercial
 - C98-Community Commercial
 - C99-Community Commercial
 - C100-Community Commercial

Warrenton Zoning
Southeast

W2

How we found land:

- Real Estate Brokers
- City staff members
- Landowners
- Word of Mouth





ARCHITECTURE PLANNING, INC. 3000 N. BROADWAY, SUITE 100
 ASTORIA, OREGON 97103-1000
 PHONE: 503.325.1234
 FAX: 503.325.1235
 WWW.ARPINC.COM
 WCC IN COAST HOSING
 Sub V
 Brugh Site
 A1.1



ARCHITECTURE PLANNING, INC. 3000 N. BROADWAY, SUITE 100
 ASTORIA, OREGON 97103-1000
 PHONE: 503.325.1234
 FAX: 503.325.1235
 WWW.ARPINC.COM
 WCC IN COAST HOSING
 Sub V
 Nelson Site
 A2.1



BLOCK 2 - V19

SITE	Existing	Area(SF)	Area(ac)
Home Depot		68,389	1.57

OFF-SITE AREAS	SF	
Total	9,404	
Roads	3,268	(20' @ Galena Ct.)
Ped/Bike Paths	2,139	
Driveways	238	
Parking	0	
Landscape	3,759	
Curbs/Gutter (LF)	0	

ON-SITE AREAS	SF
Ped/Bike Paths	5,198
Trike Track	0
Driveways	244
Parking	21,240
Building Footprints	15,440
Accessory Structures	895
Landscape/Play/Garden	25,372

	# Units	%	Unit Net Area		Footprint	
			@ Unit	Total	#Flr 1	Area
1 BR	12	26%	600	7,200	4	2400
2 BR	24	51%	800	19,200	8	6,400
3 BR	11	23%	1,000	11,000	5	5,000
Total	47			37,400		13,800
Stairways	8		410	3,280	8	1,640
Totals						15,440

Unit/Site SF 1,455

HOUSING SUPPORT STRUCTURES

Laundry/Office/Meeting (in 3 BR)	1000
Trash/Recycle	200
Bike Parking	320
Tool Shed	75
Accessory Buildings	595
Community Pavilion (Covered Gathering)	300

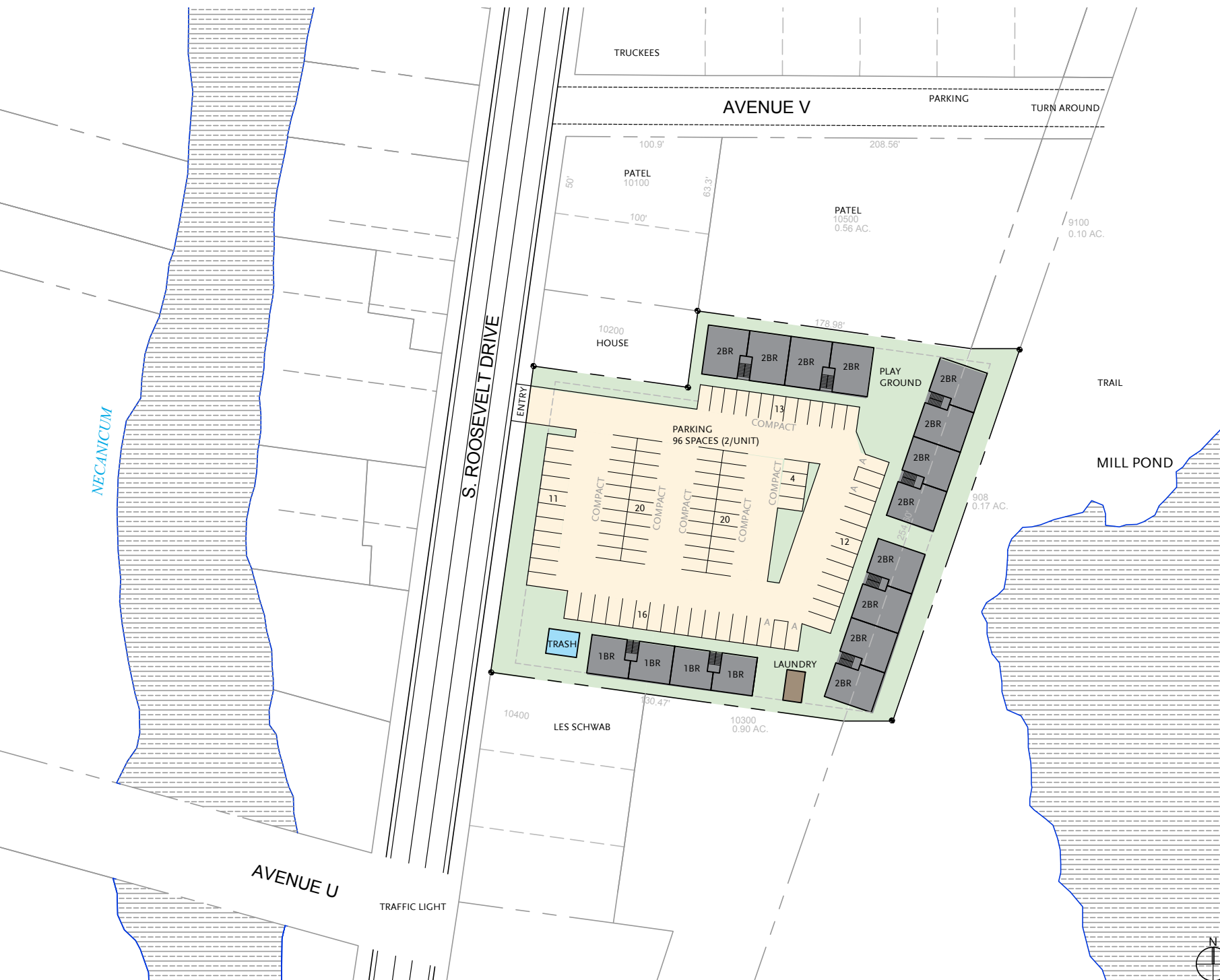
PARKING

HOUSING	City Dev Code	Proposed Ratios
Studio		
1 BR	1.5 18	1.25 15
2 BR	1.75 42	1.5 36
3 BR	2 22	1.75 19.25
Total	82	70.25

Proposed	71
----------	----

Reduction Possibilities: Bike Parking, Transit Stop, Car Pool

Req'd Bike Parking	Long T.	Short T.
Dwelling Units	1/4 DU	75% 25%
47	12	9 3



Site Status

For Sale: \$890,000 approx.

Structures and Parking

Seaside Lot S1

Gray Log

Option 1

			Parking		Units		Structure			
			2/2/2		Area		Units	Stairs	Laundry	Total SF
Studio	0		2	0						
1 BR	12	25%	2	24	622	7,464				
2 BR	36	75%	2	72	803	28,908				
Total	48		96				36,372	1696	230	38,298

To be verified:

Infrastructure required on 101 (sidewalks, etc.)

Entry, exit on 101 - ODOT

Sewer availability

Environmental

Regulatory:

Zone: C3 General Commercial

Multi Family allowable with Conditional Use

- precedent on Ave M
- Workforce a priority for City

Parking ratio is in transition (currently 2/2/2)



ARCHITECTURE AND PLANNING . WWW.EMMONSDSIGN.COM

ASTORIA . WARRENTON . GEARHART . SEASIDE . CANNON BEACH . ARCH CAPE . MANZANITA

1" = 80'
NOVEMBER 6, 2019

WCC N Coast Housing
Sites, V6

Seaside
Gray Log Site

S1 . 2

Seaside



Chelsea Gardens

WARRENTON

Block 1c

Table of Contents

A2.1	District - Existing - Land Ownership
A2.2	District - Existing - Utilities
A2.3	District - Proposed Infrastructure
A2.5	District - Development Concept - Phase 2
A4.1c	Block 1c - Site Plan
A4.1cu	Block 1c - Utilities
A4.1cs	Block 1c - Survey



COLUMBIA RIVER

EMPLOYMENT CENTER

BORENSTEIN
SEAFOOD

COLUMBIA
MEMORIAL HOSPITAL

ASTORIA

HAMPTON MILLS

EMPLOYMENT CENTER

PACIFIC SEAFOOD

COMMERCIAL
FISHING FLEET

CLATSOP
BEHAVIORAL
HEALTH

STATE ROUTE 101

YOUNGS BAY

YOUNGS RIVER

WARRENTON

WARRENTON BIKE TRAIL

DOWNTOWN WARRENTON

- FIRE/POLICE
- DAYCARE
- LIBRARY
- CITY PARK
- ELEMENTARY & GRADE SCHOOL

- RETAIL AREA
- FRED MEYER
 - PHARMACY
 - GROCERIES

- RETAIL AREA
- CAR SERVICING

AIRPORT

CASH & CARRY

SITE

HIGH
SCHOOL

EMPLOYMENT
CENTER

- RETAIL AREA
- GROCERIES
 - CLOTHING
 - HEALTH CLINIC
 - BANKS
 - CAR DEALERS
 - HARDWARE

FUTURE SCHOOL
SITES

OCEAN
BEACH

FT. CLATSOP
LEWIS & CLARK
NATIONAL HISTORICAL
PARK

LEWIS & CLARK RIVER

ONE MILE

Google

FT. STEVENS STATE PARK

- BIKING
- BOATING
- SWIMMING
- PICNICING
- HIKING

PACIFIC OCEAN



Ownership Challenges





SITE

Existing	Area(SF)	Area(ac)
East Yuill (site)	59,466	1.37
West Yuill (remaining)	72,763	1.67
TOTAL	132,229	3.04

OFF-SITE AREAS

	SF	
Total	11,643	
Roads	7,751	(24' wide @ 14th Place)
Ped/Bike Paths	771	
Driveways	590	
Parking	0	
Landscape	2,531	
Curbs/Gutter (LF)	229	

ON-SITE AREAS

	SF
Ped/Bike Paths	2,796
Driveways	526
Parking	24,800
Building Footprints	11,948
Accessory Structures	595
Landscape/Play/Garden	18,801

HOUSING

	# Units	%	Unit Net Area @ Unit	Total	# Flr 1	Footprint Area
1 BR	12	26%	600	7,200	4	2,400
2 BR	24	51%	800	19,200	8	6,400
3 BR	11	23%	1,000	11,000	5	5,000
Subtotal	47			37,400		13,800
Circulation				78%		
Gross Area				47,792		11,948
Unit/Site SF			1,265			

HOUSING SUPPORT STRUCTURES

Laundry/Office/Meeting (in 3 BR)	1000
Trash/Recycle	200
Bike Parking	320
Tool Shed	75
Accessory Buildings	595

PARKING

HOUSING	City Dev Code	Proposed Ratios
Studio		
1 BR	1.5	18
2 BR	1.75	42
3 BR	2	22
Total	82	69.65

Proposed 70

Reduction Possibilities: Bike Parking, Transit Stop, Car Pool

Req'd Bike Parking	Long T.	Short T.
Dwelling Units	1/4 DU	75%
47	12	9

Challenges for Affordable Housing:

1. Suitable Land:

- availability

- size (1.5 acre - 5.5 acre optimal)

- zoning

- cost (land cost, infrastructure cost)

- neighborhood character and amenities,

- geotech/flood hazard/environmental/wetland, etc.

2. Capital for projects

- State funds

- Tax Credits

- Federal funds

- Commercial banks

- Private capital

(Rural areas have challenges securing State and Federal funding due to capacity)

Making our affordable housing project less competitive

1. Lack of Local Financial Support
 1. No help with off-site infrastructure (no URA money)
 2. other support
2. Land Cost
3. Density (1600 SF / Dwelling Unit maximum)

How County Can Help

SHORT TERM - Chelsea Gardens - Block 1c

1. Letter of Support
2. Local Financial Support makes projects more competitive
3. Connections to Service Providers
 1. NOHA
 2. LCHC (Lower Columbia Hispanic Council)
 3. Clatsop Behavioral Healthcare
 4. NW Senior Services
4. Connections related to Racial Equity for underserved populations
5. Daycare, Health Clinic proximity

How County Can Help

LONG TERM

Primary

1. Land Acquisition
2. Local Financial Participation

Other possibilities.

2. Tax Increment Financing (Urban Renewal) (#6 Housing Strategies Report)
3. Construction Excise Tax (#6 Housing Strategies Report)
4. Housing Bond (#6 Housing Strategies Report)
5. Marketing analysis/survey/study of underserve populations in Clatsop County
6. Limited tax abatement
7. SDC fee waivers
8. Parking regulations reduced
9. Zoning/development standards reviewed to help affordable housing projects
10. Coordinated effort with all Cities